



CLIENT FOCUSED. PASSION DRIVEN.

March 2, 2017

TO : All Bidders
FROM : George M. Wiens
PROJECT : Thompson Middle School Parking Lot Improvements
Murrieta Valley Unified School District
1522500.41
SUBJECT : Addendum 1

The following changes, omissions, and/or additions to the Project Manual and/or Drawings shall apply to proposals made for and to the execution of the various parts of the work affected thereby, and all other conditions shall remain the same.

Careful note of the Addendum shall be taken by all parties of interest so that the proper allowances may be made in strict accordance with the Addendum, and that all trades shall be fully advised in the performance of the work which will be required of them.

Bidder shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

In case of conflict between Drawings, Project Manual, and this Addendum, this Addendum shall govern.

1. PROJECT MANUAL

- 1.1 Off-Site Improvements - The Contractor will pull the encroachment permit at the City of Murrieta and the School District will reimburse the fees. The City requires the Contractor to have a current City of Murrieta business license (this is verified before permit issuance). Contact the Business License staff at 951-461-6042 or businesslicense@murrietaca.gov to verify the license is up to date prior to pulling the permit. Contractor is also to provide proof of comprehensive liability insurance with the City of Murrieta named as additional insured.

Once all these requirements are in place, the permit issuance is an over-the-counter process.

Contact for the City of Murrieta: Catherine Morales
Development Services Technician
City of Murrieta, Engineering
1 Town Square Murrieta, CA 92562
Direct: 951-461-6077
Fax: 951-461-6049
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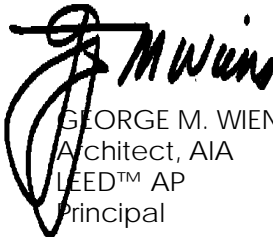
Addendum 1
Thompson Middle School Parking Lot Improvements
Murrieta Valley Unified School District
1522500.41
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Page 2

DRAWINGS

- 1.2 DRAWING A1.2 - DEMOLITION ENLARGED SITE PLAN (attached)
 - A. Add demolition for additional drop-off ramp.
- 1.3 DRAWING A1.3 - ENLARGED SITE PLAN (attached)
 - A. Revise pavement striping in parking lot along Nighthawk Way. Add drop-off ramp.
 - B. Revise Key Note 0205 to read: "New 4'-0" chain link fence" at all locations previously indicated as 6'-0" tube steel fence.
- 1.4 DRAWING A1.4 - SITE DETAILS
 - A. Detail #1 - revise to be 4'-0" high chain link fence per Project Manual Section 32 31 13 - Chain Link Fences and Gates. Delete all tube steel fencing.

END OF ADDENDUM 1

Submitted by,

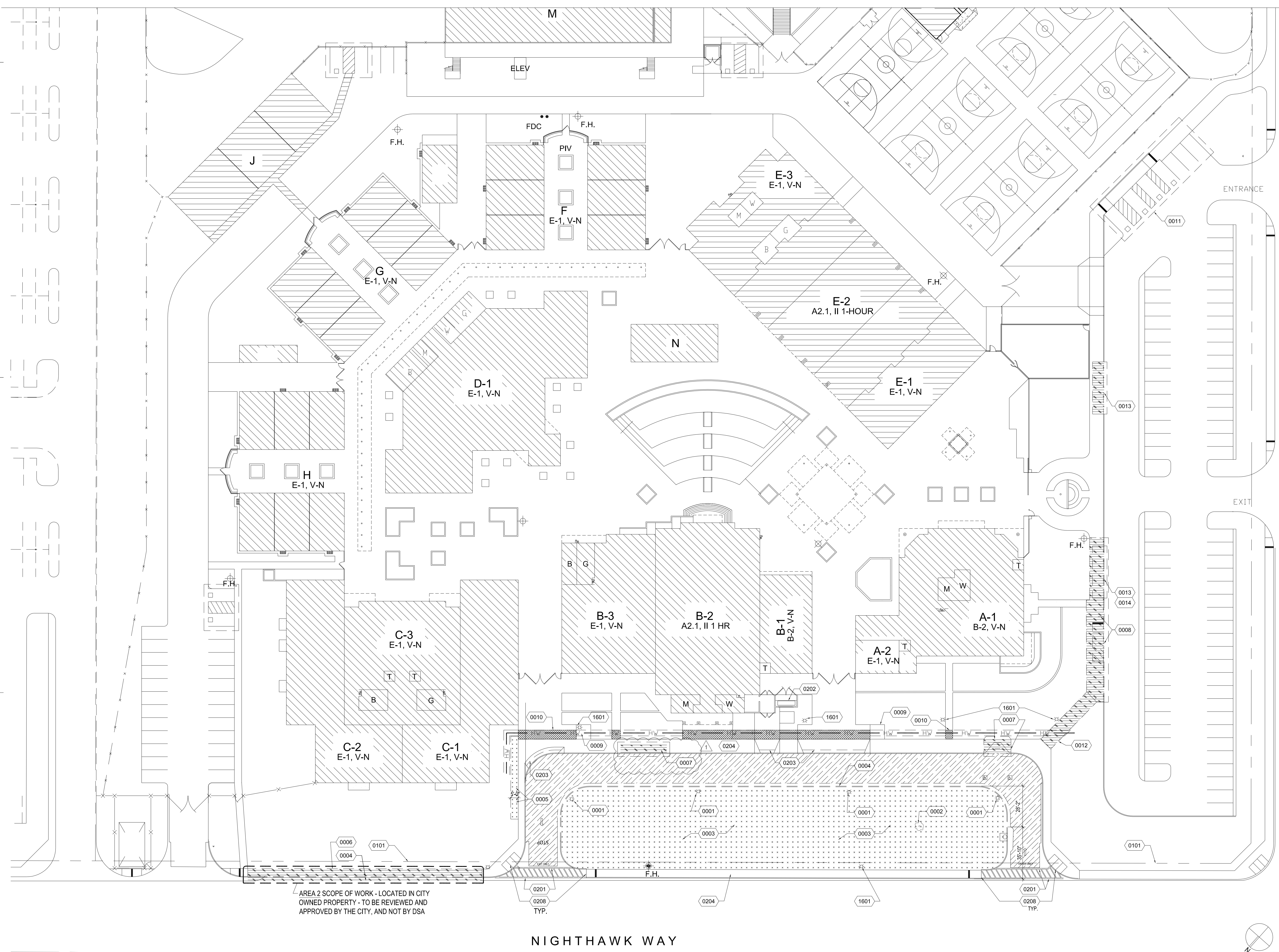

GEORGE M. WIENS
Architect, AIA
LEED™ AP
Principal



GMW:hb/P41522500x1-add

Attachments: A1.2, A1.3

**THOMPSON MIDDLE SCHOOL
PARKING LOT IMPROVEMENTS**
MURRIETA VALLEY UNIFIED SCHOOL DISTRICT
24040 HAYES AVENUE
MURRIETA, CA 92562



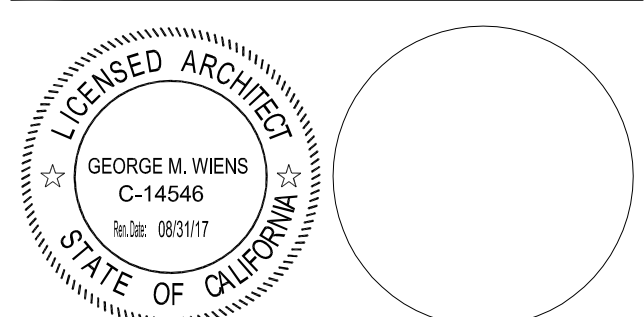
1. PROTECT ALL AREAS NOT IN SCOPE OF WORK FROM DAMAGE DURING CONSTRUCTION.
2. COORDINATE DEMOLITION WITH VARIOUS TRADES FOR PROPER SEQUENCING.
3. COMPLY WITH CITY REQUIREMENTS FOR DISPOSAL OF CONSTRUCTION/DEMOLITION DEBRIS.
4. REFER TO CIVIL & ELECTRICAL DWGS. FOR ALL EXISTING UNDERGROUND UTILITIES POINTS OF CONNECTION.
5. ALL EXISTING TO REMAIN GROUND MOUNTED DEVICES SHALL BE PROTECTED IN PLACE.
6. WHERE EXISTING ELECTRICAL CONDUITS ARE SCHEDULED FOR DEMOLITION, SEE ELECTRICAL DRAWINGS FOR POSSIBLE RELOCATION OR MODIFICATION OF EXISTING CONDUIT LINES.
7. ALL LANDSCAPING TO REMAIN SHALL BE PROTECTED IN PLACE.
8. EXISTING IRRIGATION TO BE PROTECTED IN PLACE.
9. PROTECT ALL (E) TO REMAIN SIDEWALK, PATCH & REPAIR ALL DURING CONSTRUCTION DAMAGED SIDEWALK.

DEMOLITION GENERAL NOTES

- SAW-CUT HARDSCAPE AREA TO ACCOMMODATE IRRIGATION LINES - PER LANDSCAPE DWGS.
- EXISTING CONCRETE WALK, CURB & GUTTER - AREA TO BE DEMOLISHED
- LANDSCAPED AREA - AREA TO BE DEMOLISHED
- EXISTING ASPHALT PAVED AREA - AREA TO BE DEMOLISHED. PREPARE AREA FOR NEW ASPHALT PAVING

LEGEND

- 0001 DEMOLISH LIGHT POLE
- 0002 DEMOLISH TREE, TRUNK & ROOTS - SEE LANDSCAPE DRAWINGS
- 0003 DEMOLISH LAWN/LANDSCAPE AREA
- 0004 DEMOLISH CONCRETE CURB & GUTTER (WHERE OCCURS)
- 0005 DEMOLISH PLANTS - CLEAR 5'-0" WIDE STRIP
- 0006 DEMOLISH CONCRETE WALK, PREPARE AREA FOR NEW ASPHALT PAVEMENT
- 0007 DEMOLISH CONCRETE WALK & CURB PORTION - PREPARE AREA FOR NEW ACCESSIBLE RAMP
- 0008 DEMOLISH ACCESSIBLE RAMP AREA - PREPARE AREA FOR NEW ACCESSIBLE DROP-OFF ZONE
- 0009 DEMOLISH PORTION OF AREA AS NEEDED - PREPARE AREA FOR NEW CONCRETE PAD
- 0010 SAW-CUT PORTION OF (E) HARDSCAPE/CONCRETE PAVEMENT - TO ACCOMMODATE IRRIGATION LINES PER LANDSCAPE DRAWINGS.
- 0101 (E) PROPERTY LINE
- 0111 (E) ACCESSIBLE PARKING STALLS TO HAVE 2.08% MAX. SLOPE IN ALL DIRECTIONS - DEMOLISH ANY NON-COMPLIANT AREAS, AND PREPARE AREA FOR NEW WORK
- 0112 DEMOLISH CONCRETE WALK, AND PREPARE AREA FOR NEW ADA COMPLIANT RAMP AND GUARDRAILS.
- 0113 DEMOLISH PORTION OF CONCRETE WALK, AND PREPARE AREA FOR NEW DROP-OFF RAMP/AREA
- 0201 (E) CONCRETE GUTTER - TO REMAIN
- 0202 (E) TRASH AREA (APPROVED UNDER PREVIOUS CONTRACT - DSA NO. 4-100978) TO REMAIN
- 0203 PREPARE EXISTING CONCRETE AREA FOR INSTALLATION 2' WIDE DETECTABLE WARNING STRIP
- 0204 (E) CONCRETE WALK & CURB TO REMAIN - PROTECT IN PLACE
- 0208 (E) ACCESSIBLE SIDEWALK RAMP - TO REMAIN - PROTECT IN PLACE
- 1601 (E) LIGHTPOLE TO REMAIN - TO REMAIN



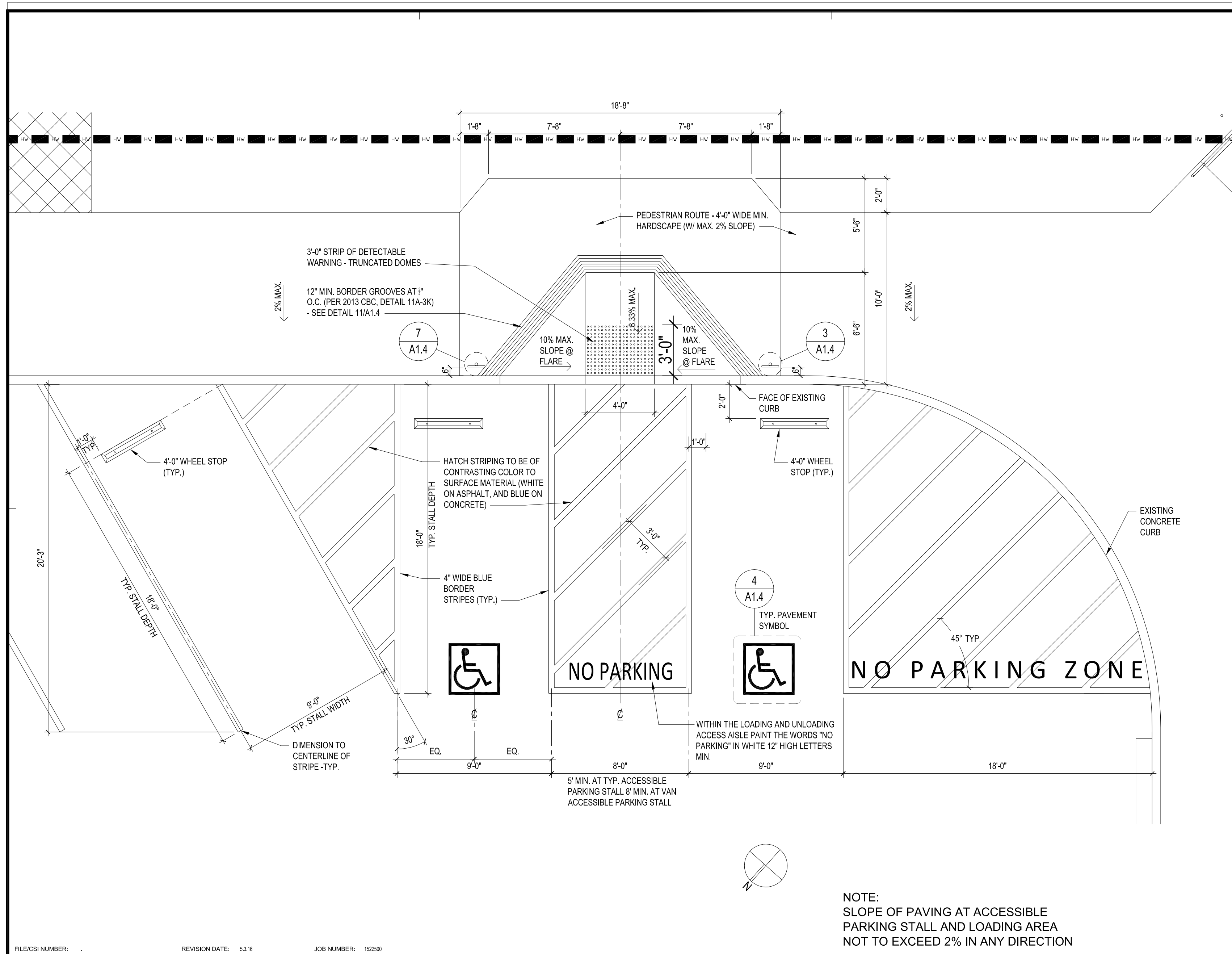
CONSULTANT

2/27/17 GW ADDENDUM 1

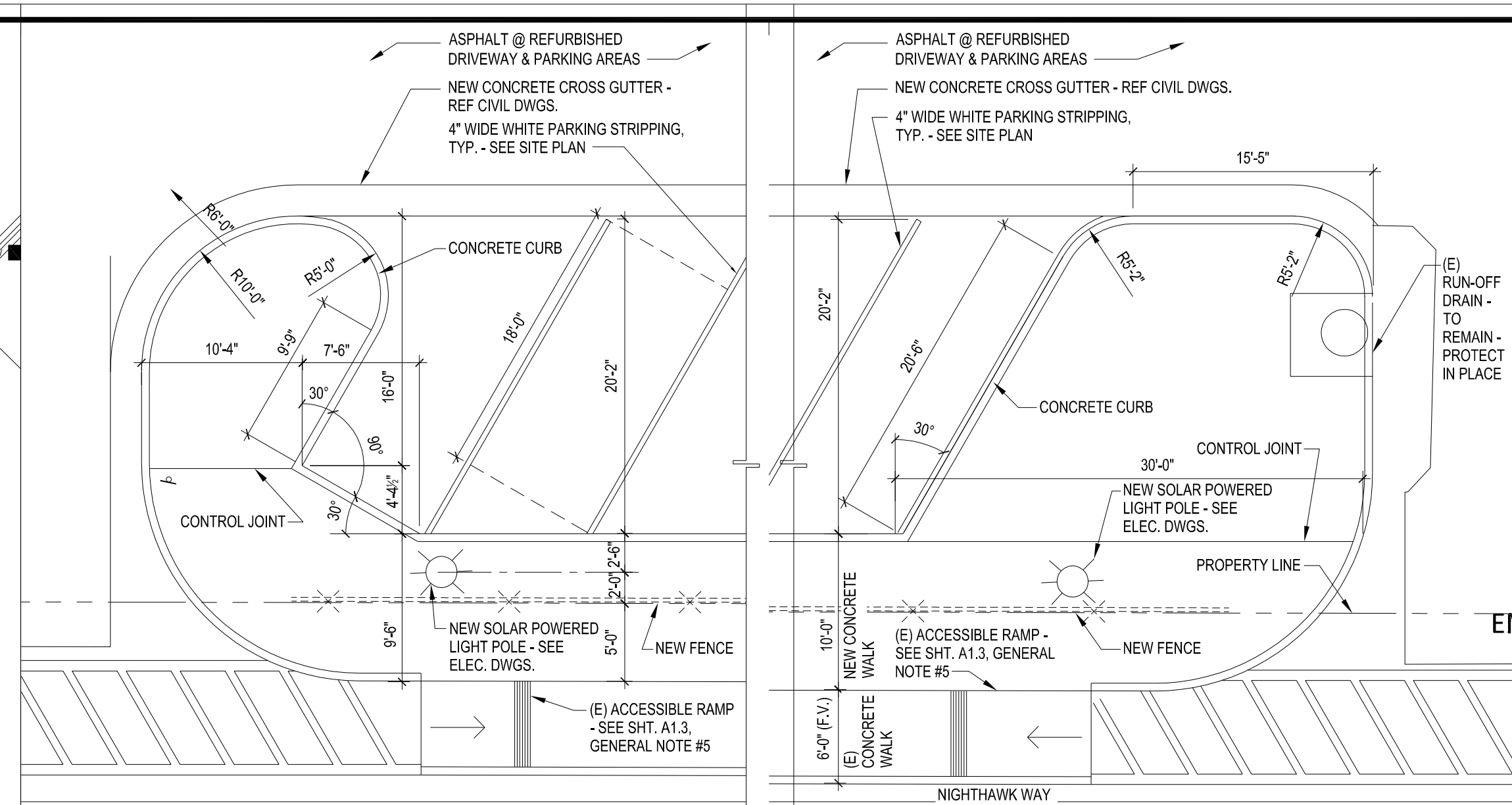
NO	DATE	BY	DESCRIPTION
REVISIONS			

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PROJECT NUMBER: 1522500

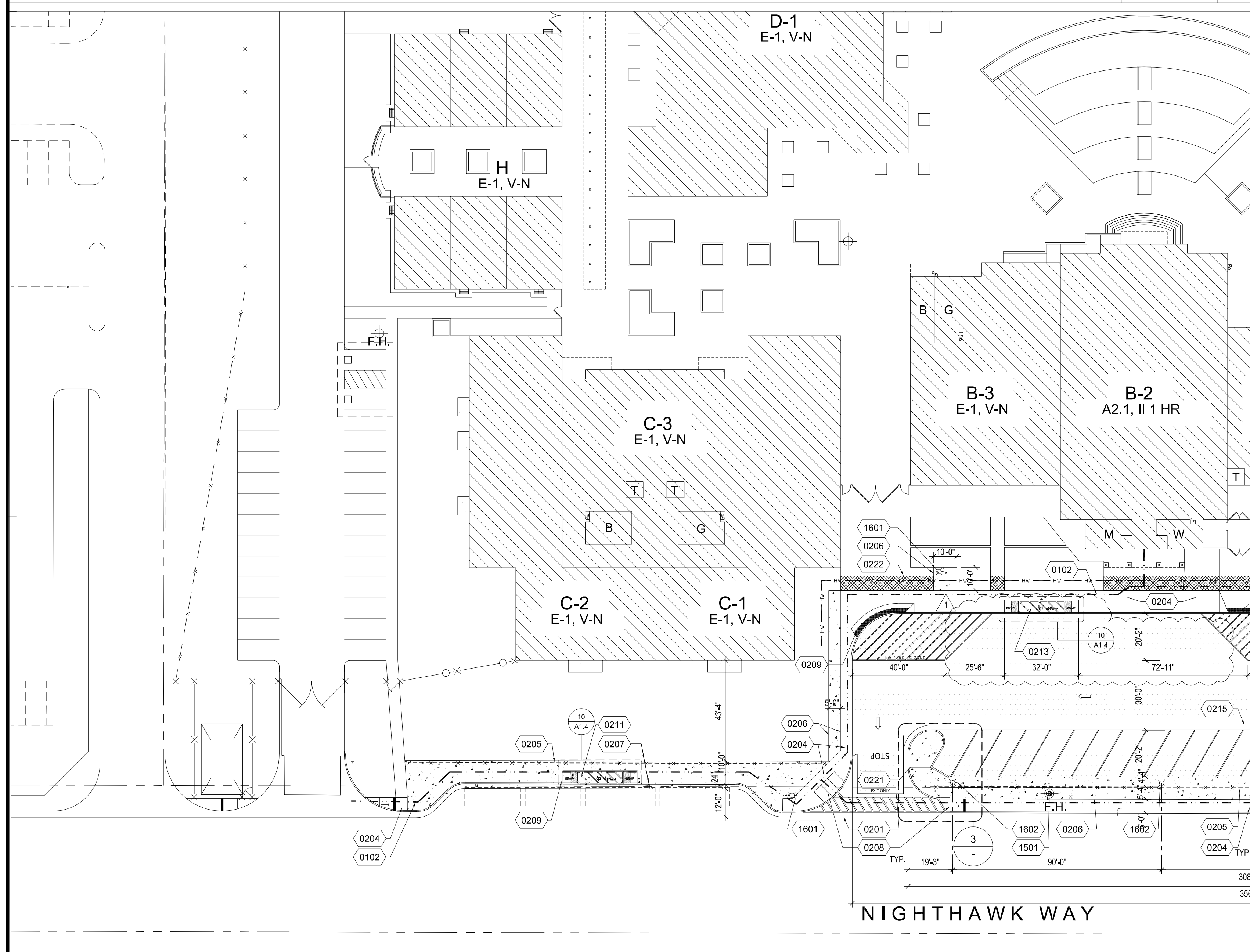
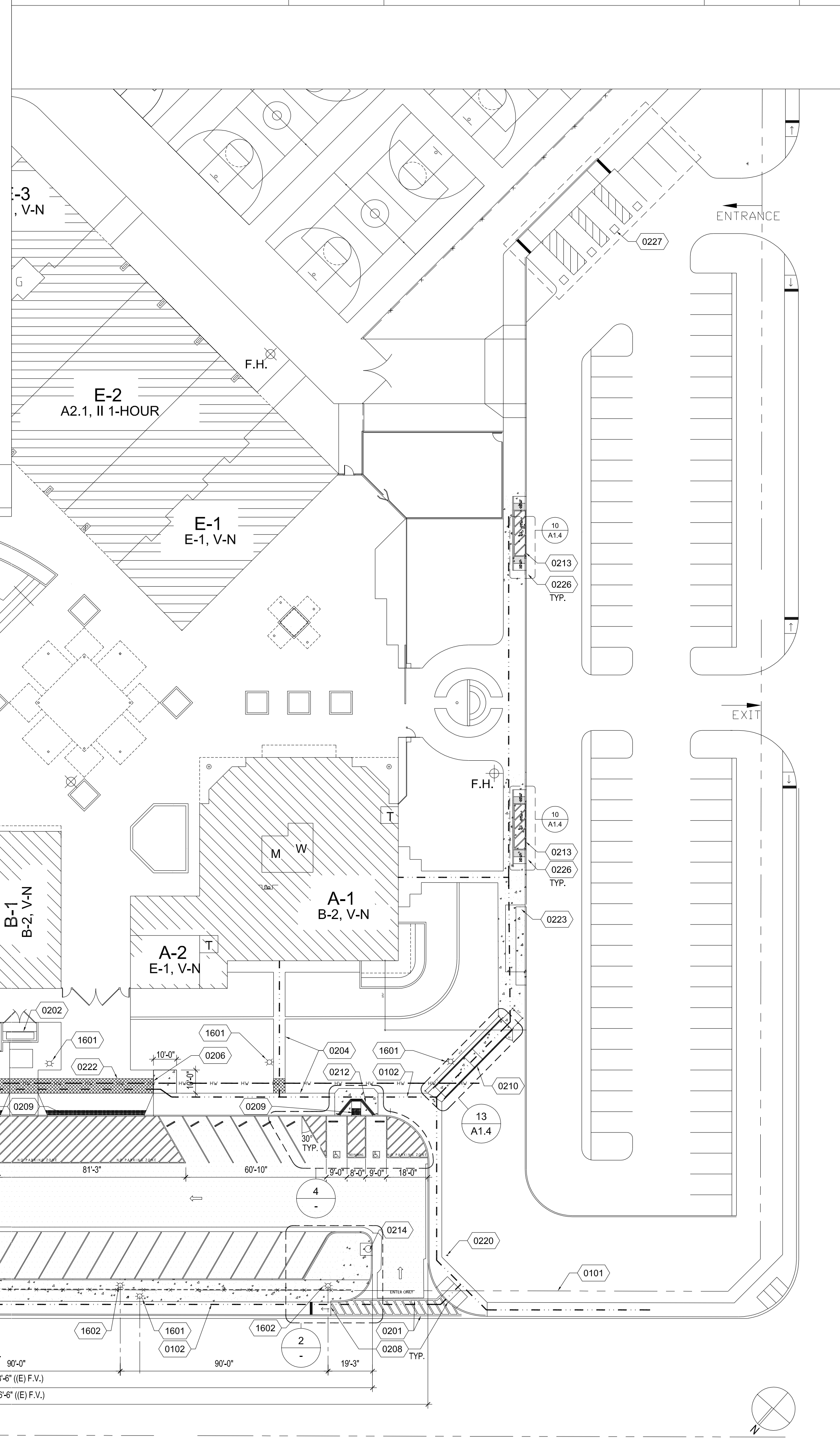
**DEMOLITION
ENLARGED
SITE PLAN**



ACCESSIBLE PARKING & RAMP 1/4" = 1'-0" 4



PARKING LOT PLAN 1/8" = 1'-0" 3 PARKING LOT PLAN 1/8" = 1'-0" 2



ENLARGED SITE PLAN 1" = 30'-0" 1

- PROVIDE MEDIUM BROOM FINISH CONCRETE, WHERE IT OCCURS. USE NON-SLIP OR HEAVY BROOM FINISH WHERE SLOPE EXCEEDS 5%.
 - ALL MATERIALS AND DEBRIS FROM AREA SHALL BE TAKEN TO A PUBLIC, COUNTY OR CITY OPERATED DISPOSAL SITE.
 - ALL AREAS IN WHICH WORK IS DONE SHALL BE LEFT CLEAN AND IN GOOD REPAIR. ANY DAMAGE DONE TO EXISTING FENCE, PAVING, OR LANDSCAPE BY THE CONTRACTOR, SUB-CONTRACTORS, OR THEIR EMPLOYEES SHALL BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT AT NO COST TO THE OWNER.
 - GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
 - DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NON-COMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON-COMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.
- DURING CONSTRUCTION IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-COMPLIANT BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.
- OPENINGS IN GRATINGS OR STRAINERS LOCATED IN PEDESTRIAN WAYS OR IN P.O.T. SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 3/4" IN DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL IN COMPLIANCE WITH SECTION 119-302.3.

GENERAL NOTES

- PATH OF ACCESSIBLE TRAVEL - SEE GENERAL NOTE #5 & KEYNOTE #102
- NEW FENCE - SEE DETAIL 1/1A.4
- NEW IRRIGATION MAINLINE, LATERAL LINES, & VALVE WIRING - PER LANDSCAPE DWGS.
- PATCH HARDSCAPE AREA WHERE SAW CUT TO ACCOMMODATE IRRIGATION LINES - PER LANDSCAPE DWGS.
- DETECTABLE WARNING - 3" WIDE STRIP
- NEW CONCRETE AREA (WALK, CURB & GUTTER) - REF TO DETAIL 3/13.2
- LANDSCAPE AREA - UPGRADE INCLUDED IN THIS SCOPE OF WORK - SEE LANDSCAPE & CIVIL DWGS.
- NEW ASPHALT PAVING AREA - UPGRADE INCLUDED IN THIS SCOPE OF WORK - SEE LANDSCAPE & CIVIL DWGS.

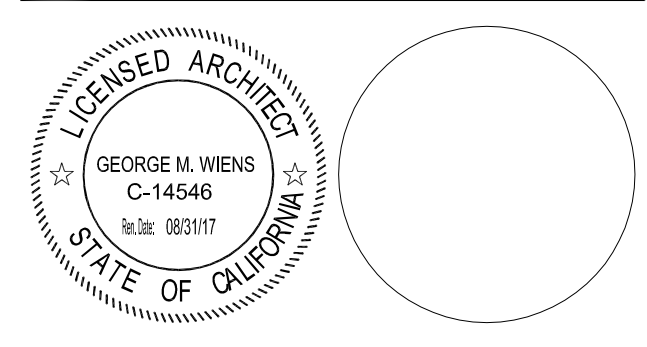
LEGEND

- (0101) (E) PROPERTY LINE
- (0102) PATH OF TRAVEL - SEE GENERAL NOTE #5 (THIS SHEET)
- (0201) (E) CONCRETE GUTTER - TO REMAIN, PROTECT IN PLACE
- (0202) (E) TRASH AREA (APPROVED UNDER PREVIOUS CONTRACT) TO REMAIN
- (0204) (E) CONCRETE WALK & CURB TO REMAIN, PROTECT IN PLACE
- (0205) NEW 6'-0" HIGH FENCE - SEE DETAIL 1/1A.4
- (0206) NEW CONCRETE AREA - LEVEL W/ (E) ADJACENT CONCRETE AREA - SEE DETAIL 8/1A.4 (CONTROL JOINT, SIM.)
- (0207) NEW CONCRETE AREA - WALK, CURB & GUTTER - REF CIVIL DWGS
- (0208) (E) ACCESSIBLE SIDEWALK RAMP - TO REMAIN, PROTECT IN PLACE
- (0209) INSTALL NEW DETECTABLE WARNING 2" WIDE STRIP
- (0210) NEW COMPLIANT CONCRETE RAMP WITH GUARDRAILS AT EA. SIDE - W/ POST @ 6'-0" O.C. & 3" HORIZ. RAILS - SEE DETAIL 9/1A.4 & 13/1A.4
- (0211) NEW ACCESSIBLE DROP-OFF ZONE - SEE DETAIL 10/1A.4
- (0212) NEW ACCESSIBLE SIDEWALK RAMP - SEE DETAIL 1/1A.3
- (0213) NEW RAMP W/ NEW ACCESSIBLE DROP-OFF ZONE (ONE WITHIN EVERY 100 FEET) - SEE DETAIL 10/1A.4
- (0214) (E) RUN-OFF DRAIN - TO REMAIN - PROTECT IN PLACE - PATCH AND REPAIR IF DAMAGED
- (0215) NEW DRAIN @ PARKING LOT - CONNECT TO (E) DRAINAGE SYSTEM - SEE CIVIL DWGS.
- (0220) EXISTING TOW AWAY SIGN - SEE DETAIL 6/1A.4
- (0221) INSTALL NEW "DO NOT ENTER" SIGN - SEE DETAIL 2/1A.4
- (0222) PATCH HARDSCAPE AREA WHERE SAW CUT (TO ACCOMMODATE IRRIGATION LINES & VALVE WIRING - REF LANDSCAPE DWGS.). NEW PATCHED AREAS ARE TO BE LEVELED WITH (E) TO REMAIN AREAS AND SLOPE IS TO BE ACCESSIBLE PATH OF TRAVEL COMPLIANT (TO INCLUDE MIN. 2% SLOPE IN ANY DIRECTIONS)
- (0223) PATCH HARDSCAPE AREA WHERE REMOVED RAMP - NEW CONCRETE WALK TO BE ELVEL WITH EXISTING WALK - TO BE ACCESSIBLE PATH OF TRAVEL COMPLIANT.
- (0226) PATCH PAVEMENT - TO BE LEVEL WITH (E) PAVEMENT WHERE DEMOLISHED TO ACCOMMODATE NEW SCOPE OF WORK - TO BE LEVEL WITH (E) PAVEMENT
- (0227) ACCESSIBLE PARKING STALLS TO HAVE 2.08% MAX. SLOPE IN ALL DIRECTIONS - UPGRADE IF (E) CONDITIONS ARE NOT COMPLIANT
- (E) FIRE HYDRANT
- (E) LIGHT POLE - TO REMAIN
- (E) INSTALL NEW LIGHT POLE W/ SOLAR POWER - SEE ELEC. DWGS. DETAIL 2/E.01

KEYNOTES

ARCHITECTS
WLC
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PARKING LOT IMPROVEMENTS**
MURRIETA VALLEY UNIFIED SCHOOL DISTRICT
24040 HAYES AVENUE
MURRIETA, CA 92562



CONSULTANT

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NO	DATE	BY	DESCRIPTION

DRAWN: ATorres
DATE: 5/12/2016
PROJECT NUMBER: 1522500

CHECKED: GWiens, L.Cox
SCALE: 1" = 50'-0"

ENLARGED SITE PLAN

DRAWING NUMBER: A1.3